

57

# Moulsecoomb Place, Lewes Road

BH2022/03893

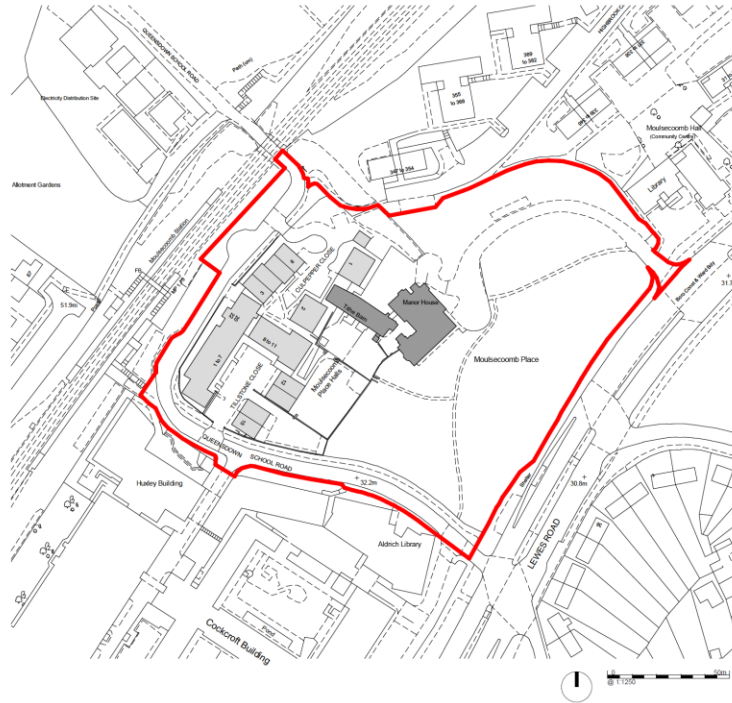


Brighton & Hove  
City Council

# Application Description

- Proposed minor demolitions/alterations, repair, extension (including single storey extension to link the Manor House and Tithe Barn and accessible lift to the northern side of the Tithe Barn) partial demolition of flint walls to garden area, bin and cycle storage, provision of ground source heat pump and associated alterations to hard and soft landscaping.

# Location Plan



59



# Site photographs



Fig. 4.R: The Manor House and the later barn as seen from the grounds (2018 photo).



Fig. 4.48: The courtyard linking the Manor House, its rear extension and the 19th century barn.



Fig. 4.46: Part of the Victorian extension to the Manor House as seen from the internal courtyard, with the fire escape.



Fig. 4.11: The Manor House as seen from the east with the student housing behind (2018 photo).



Fig. 4.7: A recent flint and brick staircase with modern treads.

# Site photographs



Eastern end of the Tithe Barn and Manor Yard



Northern elevation of Tithe Barn



Rear wing of the Manor House housing the social club and later 20<sup>th</sup> Century addition



1913 wing of the Manor House and adjacent flint wall



Southern elevation of the Tithe Barn and walled garden



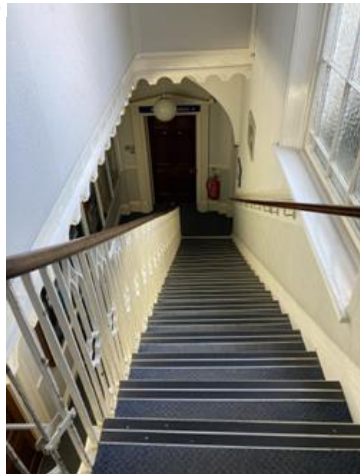
# Internal site photos



Interior photos of the 1913 wing of the Manor House



Existing Social club within the rear of the Manor House



Internal staircase within Manor House



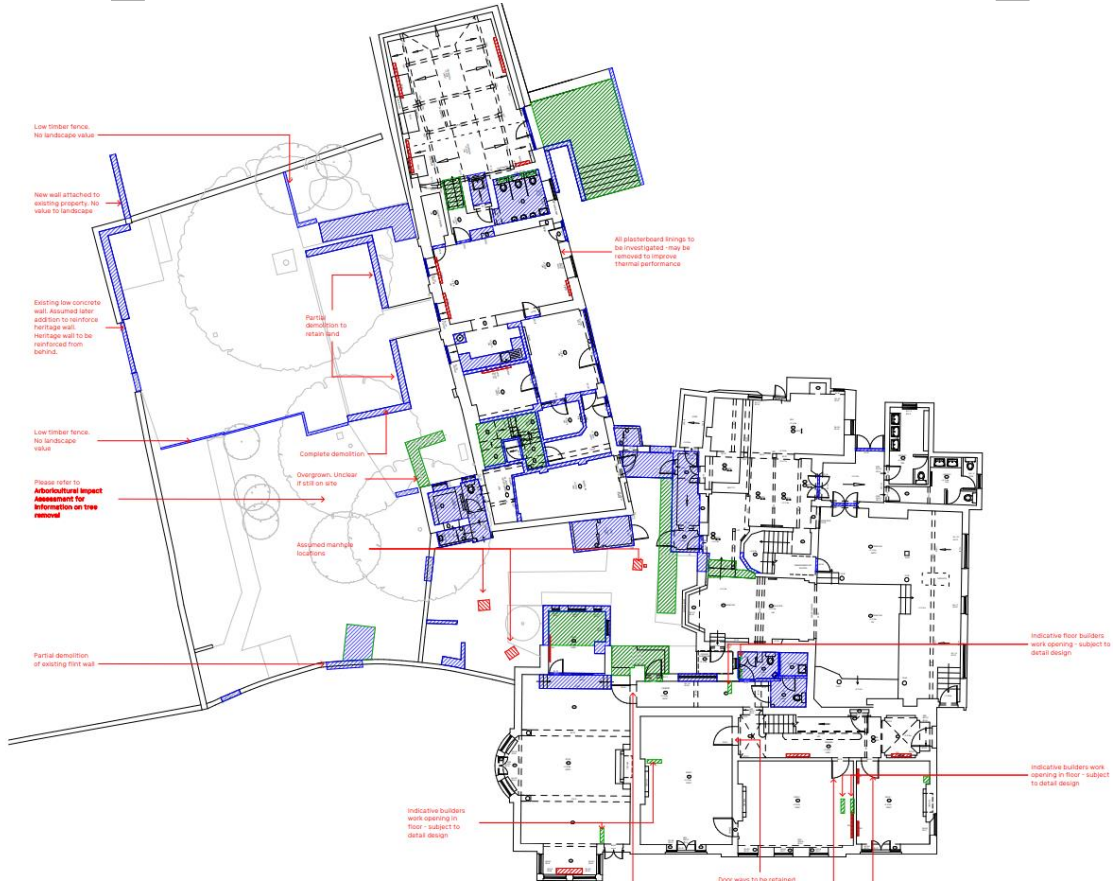
Second floor of Tithe Barn



Ground floor interior of the Tithe Barn

# Proposed demolition plan

63



**NOTES**  
These drawings are based on 2D survey information provided by CDM Surveys Ltd (January 2022) and topographical survey produced by CDM Surveys Ltd (February 2020).

Proposals are based on the survey and the limited building condition information provided. Further investigations to be undertaken at detail design stage in order to determine existing condition of the fabric, services, beams and structure to ensure proposals are achievable.

**Demolition Key**  
▨ Demolition walls, windows, internal fittings and fixtures  
▨ Demolition-derived section lines  
- - - Demolition detail work  
▬ Demolition ventilation lighting  
▨ Demolition floors and stairs

**Key Plan**  
  
 A small inset map showing the location of the site within a larger context, with a red box indicating the site's location.



**For Planning**  
 Project No: **2024**

**Weekend Plan**  
 Drawing Title: **Demolition Plan - Level 00**

**Client:** Brighton & Hove City Council  
**Scale:** 1:100  
**Date:** 16/07/2024

**Author:** JH  
**Check:** JH

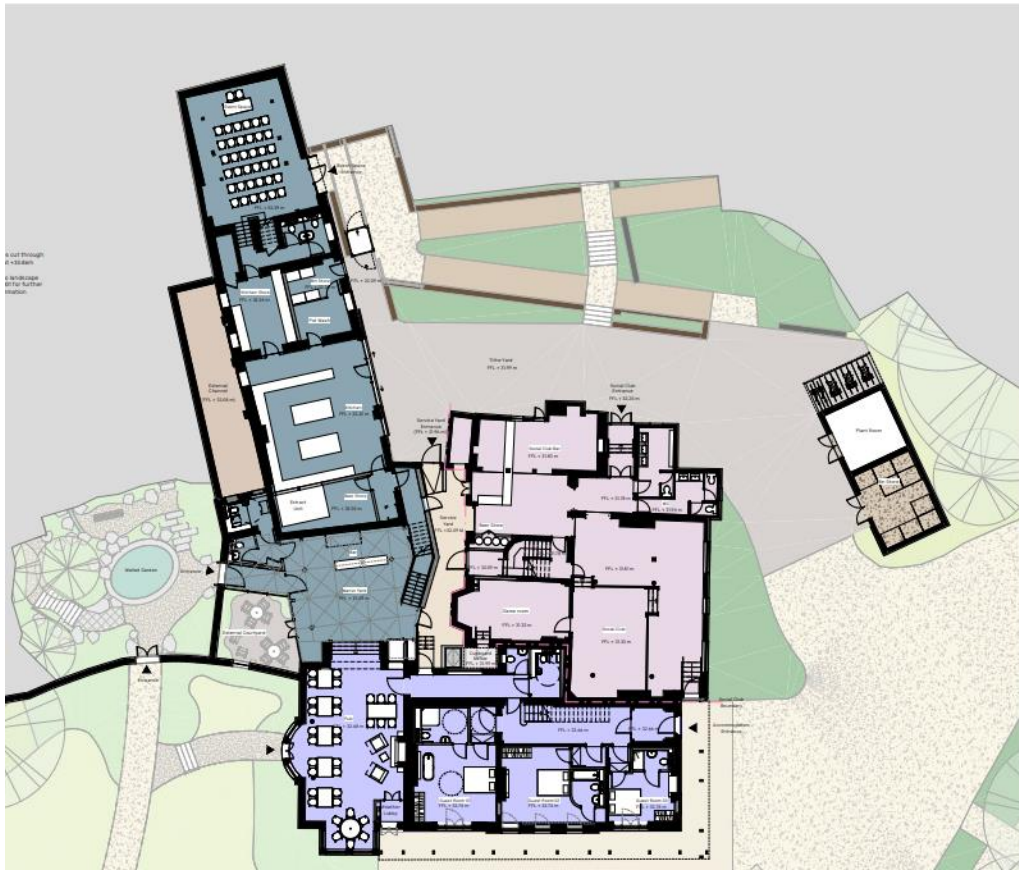
NO.	REV.	DESCRIPTION	DATE



ID

# Proposed Floor plan Level 00

64



### General Notes

1. This drawing shall be read in conjunction with the following documents:

- 1.1. The contract documents.
- 1.2. The drawings.
- 1.3. The specification.
- 1.4. The bills of materials.
- 1.5. The program of requirements.
- 1.6. The program of costs.
- 1.7. The program of quantities.
- 1.8. The program of specifications.
- 1.9. The program of drawings.
- 1.10. The program of documents.

### Notes

1. This drawing shall be read in conjunction with the following documents:

2. This drawing shall be read in conjunction with the following documents:

3. This drawing shall be read in conjunction with the following documents:

4. This drawing shall be read in conjunction with the following documents:

5. This drawing shall be read in conjunction with the following documents:

6. This drawing shall be read in conjunction with the following documents:

7. This drawing shall be read in conjunction with the following documents:

8. This drawing shall be read in conjunction with the following documents:

9. This drawing shall be read in conjunction with the following documents:

10. This drawing shall be read in conjunction with the following documents:

### Colour Code

Green	General Office
Light Blue	Office
Blue	Office
Dark Blue	Office
Light Green	Office
Light Purple	Office
Light Blue	Office
Light Green	Office
Light Purple	Office
Light Blue	Office
Light Green	Office
Light Purple	Office
Light Blue	Office
Light Green	Office
Light Purple	Office
Light Blue	Office
Light Green	Office
Light Purple	Office
Light Blue	Office
Light Green	Office
Light Purple	Office
Light Blue	Office
Light Green	Office
Light Purple	Office
Light Blue	Office
Light Green	Office
Light Purple	Office
Light Blue	Office
Light Green	Office
Light Purple	Office
Light Blue	Office
Light Green	Office
Light Purple	Office
Light Blue	Office
Light Green	Office
Light Purple	Office

### Key Plan



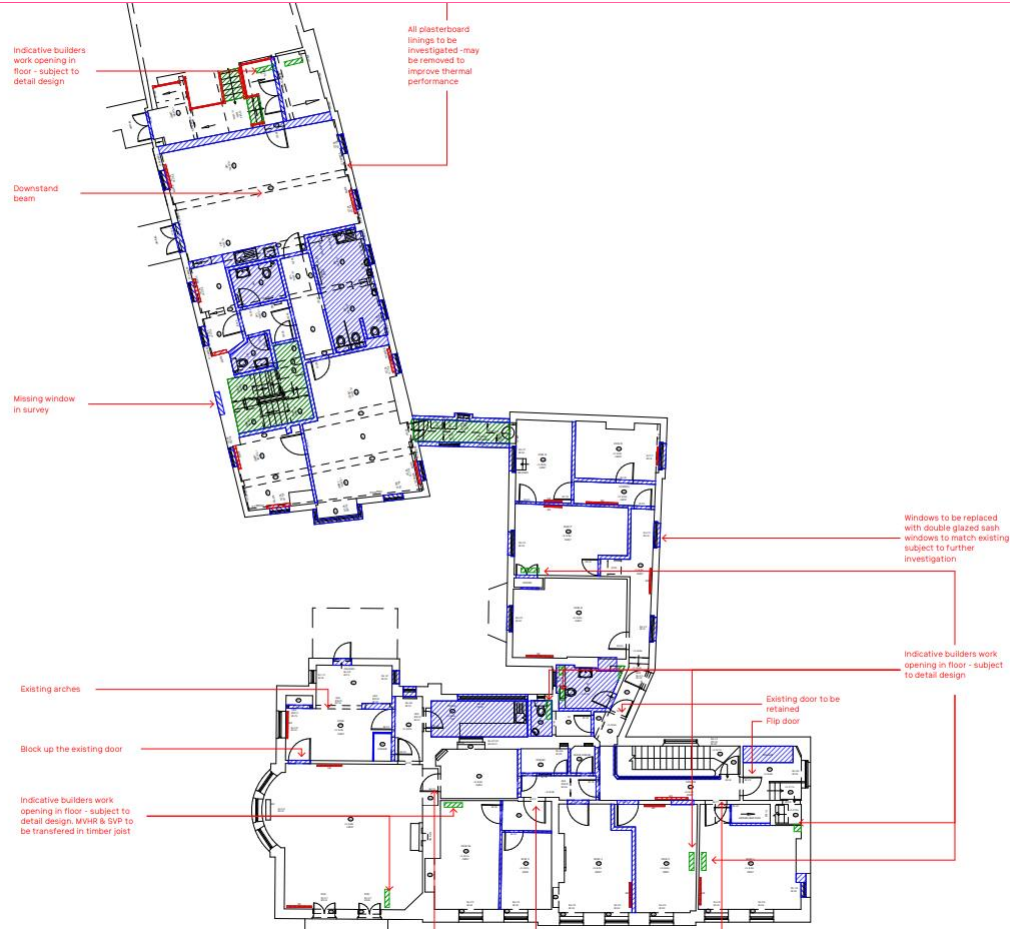
### For Planning

Project No.	001
Project Name	Brighton & Hove City Council
Client	Brighton & Hove City Council
Architect	393
Scale	1:100
Date	2024/01/01
Drawn by	J. Smith
Checked by	M. Jones
Project Manager	123
Rev.	01
Date	2024/01/01
Description	Proposed Floor Plan Level 00
Drawn by	J. Smith
Checked by	M. Jones
Project Manager	123
Rev.	01
Date	2024/01/01
Description	Proposed Floor Plan Level 00

ID



# Proposed demolition Plan Level 01







# Proposed demolition elevations Manor House



Demolition - Elevation 7  
1:50



Demolition - Elevation 8  
1:50

# Proposed demolition elevations Tithe Barn



# Key elevation images

Proposed lift



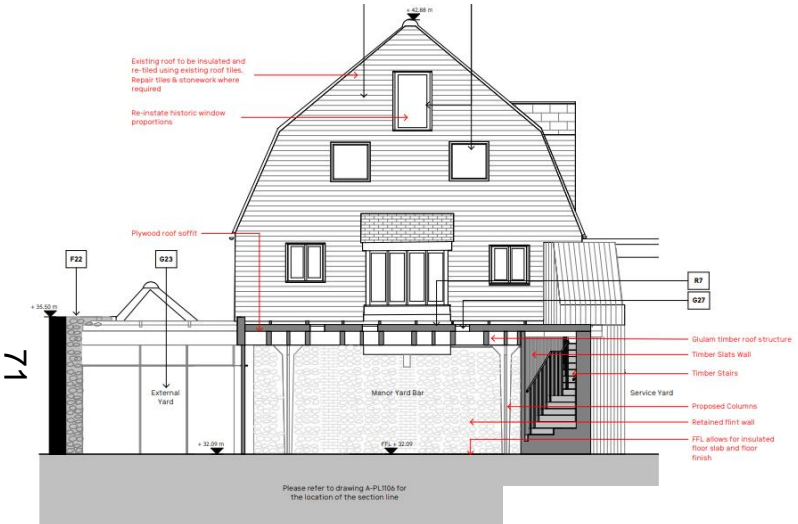
Proposed Long Elevation 1A  
1 : 100

Proposed roof enclosure over the Manor Yard

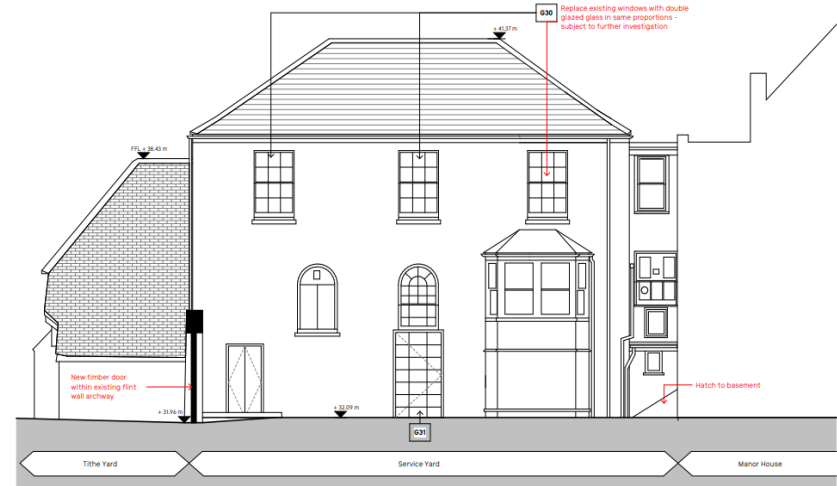


Proposed Long Elevation 3A  
1 : 100

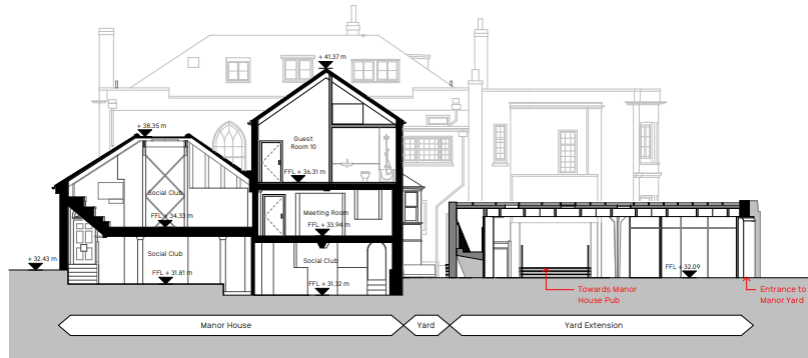
# Key elevation images



**Proposed Elevation 4**  
1 : 50



This group of drawings show the alterations to the listed buildings from within the Manor Yard.



**Proposed Cross Section B**  
1 : 100

# Proposed Visual(s)

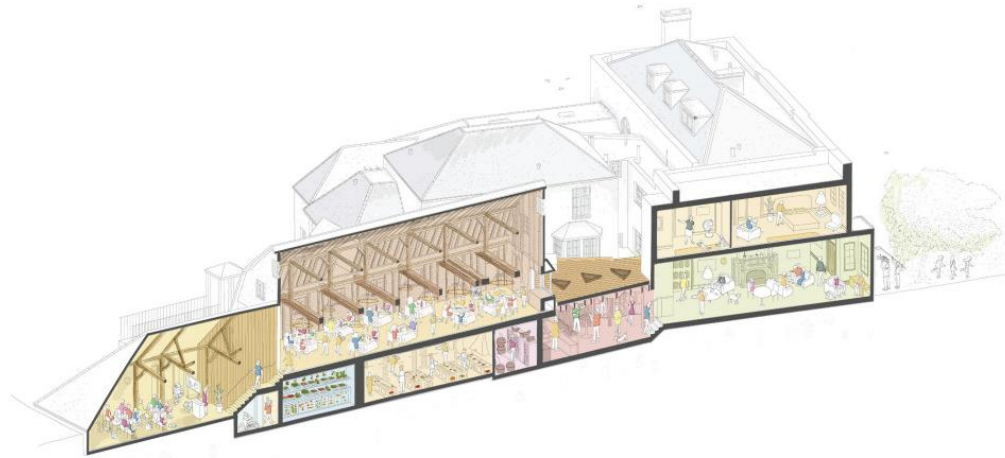


Fig. 6.17: Proposed cutaway sketch showing how the proposed Manor House and barns are connected via the infill building.



Fig. 6.18: Axonometric view of the proposed infill building between the tithe barn and the Manor House.



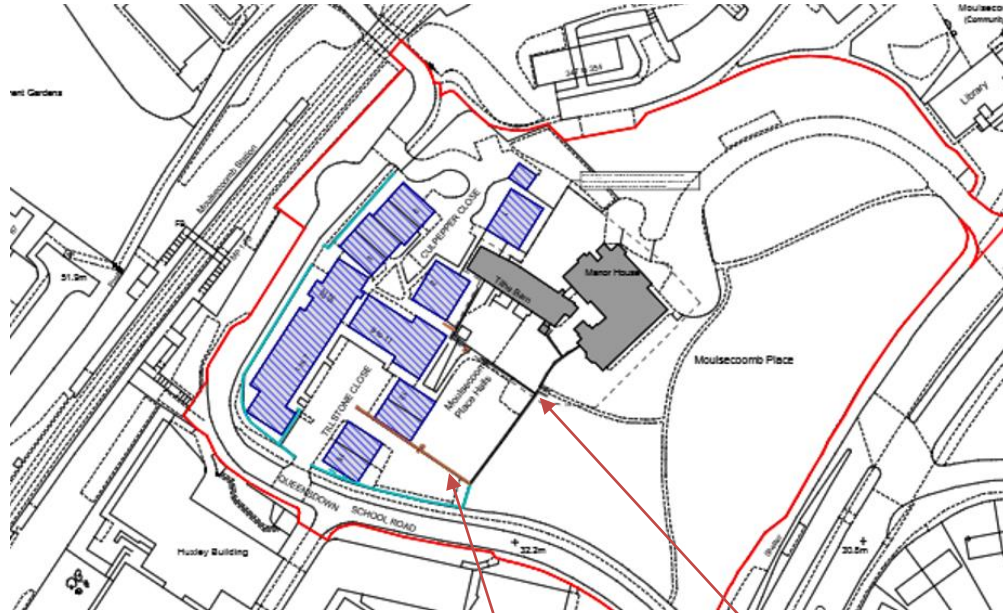
Fig. 6.19: Proposed section through the Manor House and north-east elevation of the barns.



Fig. 6.20: Proposed south-west elevation of the barns and Manor House, showing the opening to the flint wall leading to the infill building.



# Flint walls



Flint wall to be removed

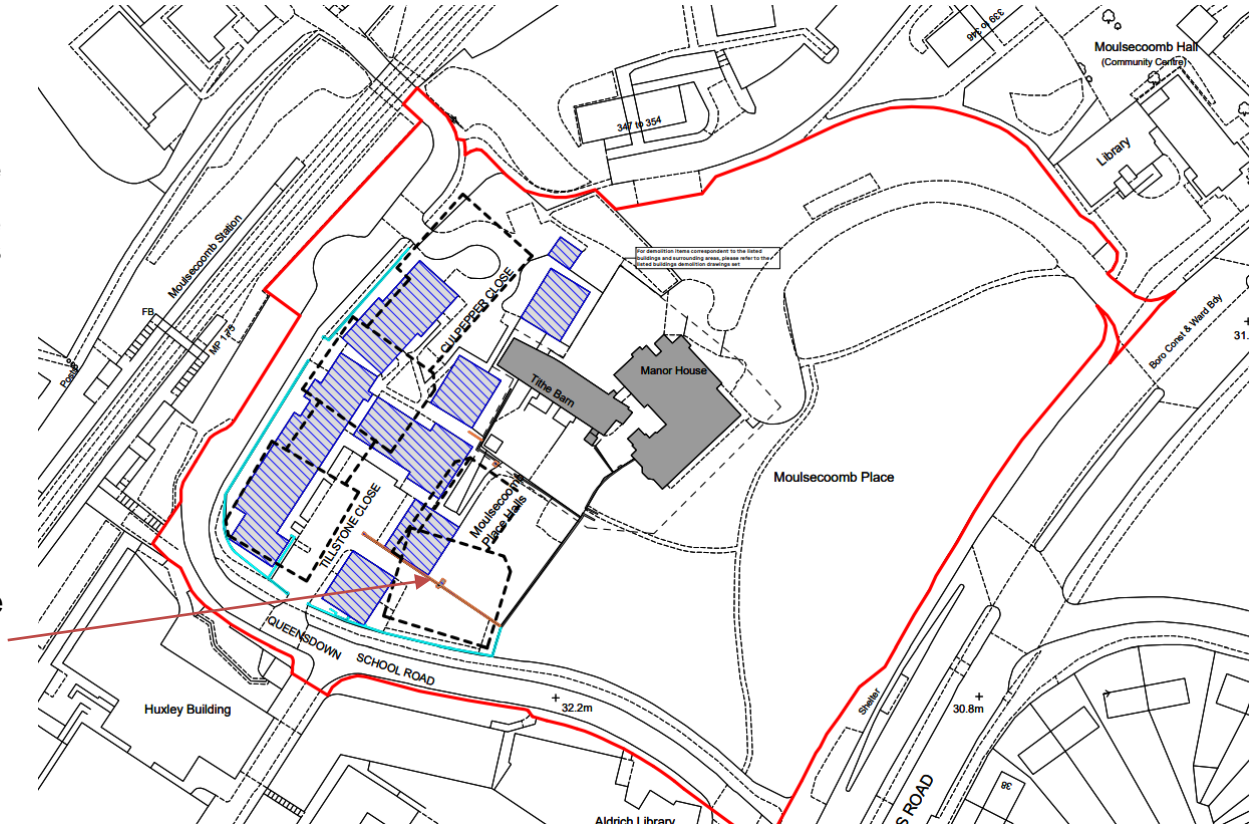
Long section of flint walling to be removed.

Long section of flint wall to be retained

# Existing site layout with proposed building footprints overlaid

-----  
Delineates the proposed footprint of the student blocks

Flint wall to be removed



# Key alterations

---

- External
- Replacement windows/doors- some with secondary or double glazing
- Repair stonework/brickwork/roof tiles
- New bridge connection to walled garden
- New roof covering to Manor Yard
- Removal of existing external metal staircase and provision of new timber staircase
- Removal of later extensions
- Addition of new external lift and walkway to the north of Tithe Barn.
- Removal of some areas of flint walling

## Internal

- Removal of later partitions
- Sub-divisions for fire lobbies and en-suites within guest rooms
- Restore the double height space within the Tithe Barn
- New internal all weather lobbies



# Key Considerations in the Application

---

- The impact of the proposals upon the character and appearance of these Grade II listed buildings.

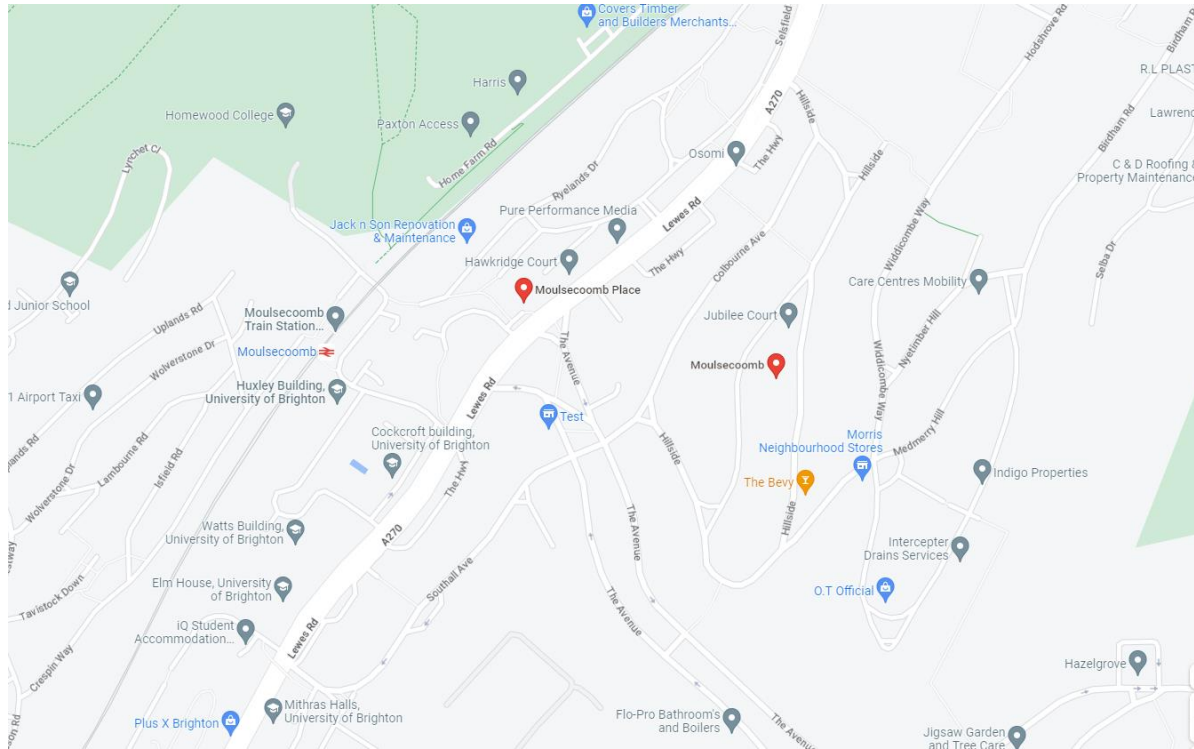
# Conclusion and Planning Balance

- The proposals retain, restore and convert the listed buildings to provide a range of uses that enable the buildings to become more widely accessible.
- The proposals would include the removal of unattractive later additions, better revealing historic features.
- The subdivisions for lobbies and en-suite facilities would not be full height and are easily reversible.
- The internal alterations to the Tithe Barn would allow for a double height space removing the later mezzanine.
- The proposed lift improves pedestrian accessibility and is finished to match the main barn. In addition the lift is discreetly located.
- The proposed roof cover to the Manor yard is considered acceptable subject to conditions to ensure high quality materials are used.
- The removal of some flint walling is regrettable however, the use of flint elsewhere on the application site goes some way towards mitigating the loss.
- The application is therefore not considered to harm the historic character and appearance of these grade II listed buildings in accordance with policies CP15 of the City Plan Part 1 and DM27 of the City Plan Part 2. Therefore the application is recommended for **approval**.

---

- ENDS

# Map of application site



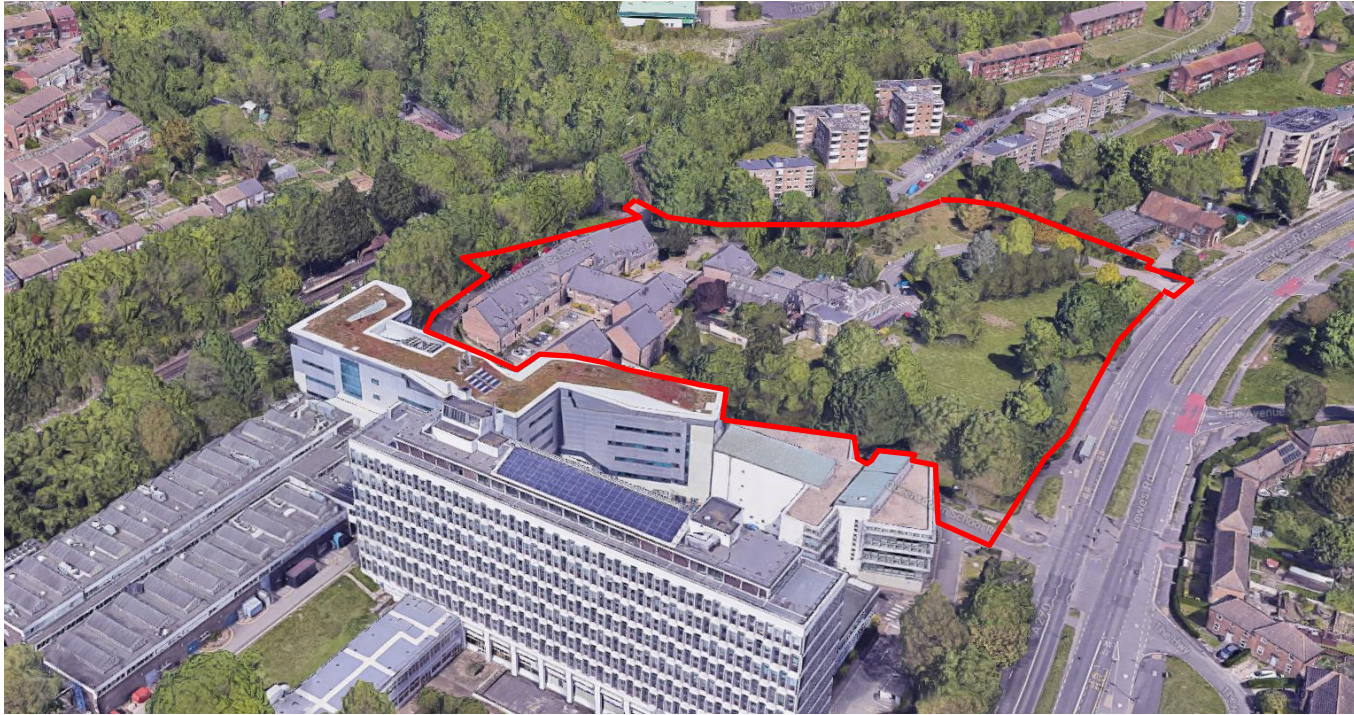
# Aerial photo(s) of site





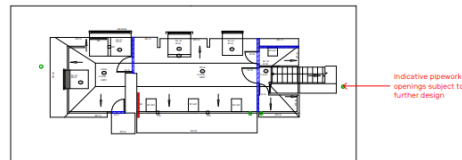
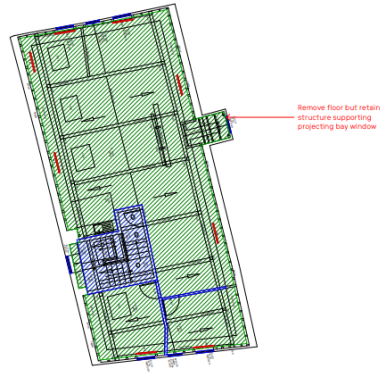
# 3D Aerial photo of site

---

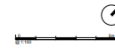


Brighton & Hove  
City Council

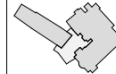
# Proposed demolition Plan level 02



- Demolition Key**
- Demolition: Walls, windows, internal fittings and fixtures
  - Demolition behind section line
  - Demolition: Metal work
  - Demolition: Lighting
  - Demolition: Floors and stairs



Key Plan



**For Planning**

Project No: **006**

Project Name:

**Mulwood Place**

Drawing Title:

**Linked Buildings**

**Demolition Plan - Level 02**

Client: **Colin and Catherine (Mulwood)**

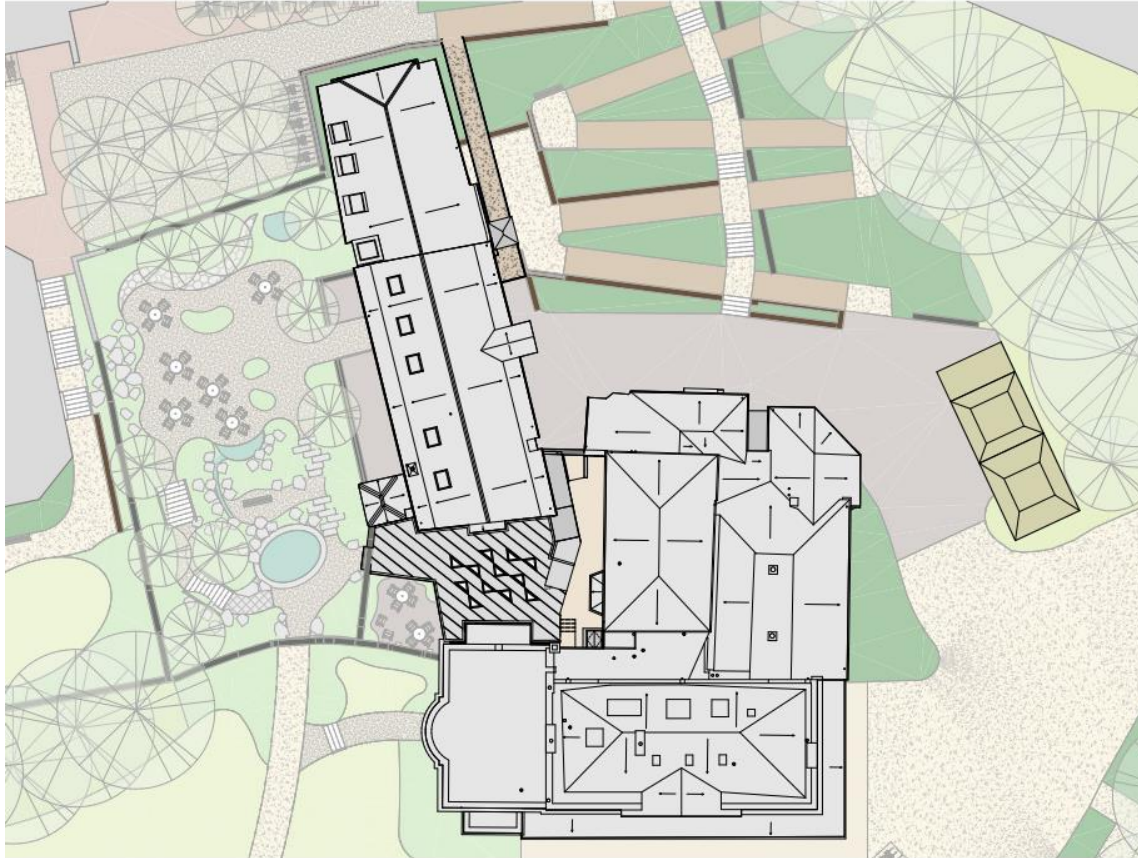
Scale: **B1**

Date: **16/05/2023**

Drawn by: **MB**

Checked by: **GR**


# Proposed roof plan



## General Notes

1. The proposed building is to be constructed in accordance with the Building Regulations 2010 and the Building Control Regulations 2010.

## Notes

1. The proposed building is to be constructed in accordance with the Building Regulations 2010 and the Building Control Regulations 2010.

2. The proposed building is to be constructed in accordance with the Building Regulations 2010 and the Building Control Regulations 2010.

3. The proposed building is to be constructed in accordance with the Building Regulations 2010 and the Building Control Regulations 2010.

4. The proposed building is to be constructed in accordance with the Building Regulations 2010 and the Building Control Regulations 2010.

5. The proposed building is to be constructed in accordance with the Building Regulations 2010 and the Building Control Regulations 2010.

6. The proposed building is to be constructed in accordance with the Building Regulations 2010 and the Building Control Regulations 2010.

7. The proposed building is to be constructed in accordance with the Building Regulations 2010 and the Building Control Regulations 2010.

8. The proposed building is to be constructed in accordance with the Building Regulations 2010 and the Building Control Regulations 2010.

9. The proposed building is to be constructed in accordance with the Building Regulations 2010 and the Building Control Regulations 2010.

10. The proposed building is to be constructed in accordance with the Building Regulations 2010 and the Building Control Regulations 2010.

11. The proposed building is to be constructed in accordance with the Building Regulations 2010 and the Building Control Regulations 2010.

12. The proposed building is to be constructed in accordance with the Building Regulations 2010 and the Building Control Regulations 2010.

13. The proposed building is to be constructed in accordance with the Building Regulations 2010 and the Building Control Regulations 2010.

14. The proposed building is to be constructed in accordance with the Building Regulations 2010 and the Building Control Regulations 2010.

15. The proposed building is to be constructed in accordance with the Building Regulations 2010 and the Building Control Regulations 2010.

16. The proposed building is to be constructed in accordance with the Building Regulations 2010 and the Building Control Regulations 2010.

17. The proposed building is to be constructed in accordance with the Building Regulations 2010 and the Building Control Regulations 2010.

18. The proposed building is to be constructed in accordance with the Building Regulations 2010 and the Building Control Regulations 2010.

## Proposed Uses

- General Use
- General Use
- General Use
- General Use
- General Use
- General Use
- General Use
- General Use
- General Use
- General Use
- General Use
- General Use
- General Use
- General Use
- General Use

## Key Plan



**For Planning**

Project Name: **XXXXXX**

Project Address: **XXXXXX**

Project Reference: **XXXXXX**

Project Status: **XXXXXX**

Project Date: **XXXXXX**

# Flint wall to be removed (additional)

84

